

Summary of Findings

The Thurgood Marshall Building Facility located at 5001 SINCLAIR LN in Baltimore, Maryland, was built in 1960. It comprises 262,134 gross square feet.

The total current deficiencies for this site, in 2011 construction cost dollars, are estimated at \$25,641,533. The 10 Yr Life Cycle Costs are estimated at \$12,361,427. The Ten-Year Repair Cost, calculated by adding the Building Condition Costs and the Ten-Year Life Cycle Renewal Cost is \$38,002,960.

Facility Condition by Building

Number	Building Name	Gross Sq Ft	Built Date	Facility Condition Cost	Future Life Cycle Cost (Yr 1-10)	Repair Cost	Replacement Cost	Current + 10 Yr LC FCI	Cost Per Square Foot
170	Site			\$3,264,388	\$0	\$3,264,388			
M-01	Bldg 1	244,459	1960	\$21,322,418	\$11,375,326	\$32,697,744	\$56,883,430	57.48%	\$133.76
P-01	M-01	14,219	1969	\$1,048,302	\$957,243	\$2,005,545	\$2,215,656	90.52%	\$141.05
P-02	P-01	1,152	2006	\$6,426	\$28,858	\$35,284	\$179,509	19.66%	\$30.63
P-03	P-02	1,152	2006	\$0	\$0	\$0	\$179,509	.00%	\$0.00
P-03	P-03	1,152	2006	\$0	\$0	\$0	\$179,509	.00%	\$0.00
Totals		262,134		\$25,641,533	\$12,361,427	\$38,002,960	\$59,637,610	63.72%	\$144.98

Cross Tab of Current Deficiencies

The following chart summarizes the current deficiencies for this site in a cross tab that shows the buildings systems down the left and the priority of the deficiency across the top. This listing includes current deficiencies including deferred maintenance, functional deficiencies, code compliance, Americans with Disabilities Act, and Capital Renewal categories.

Facility Condition Cost - System by Priority

System	Priority					Total
	1	2	3	4	5	
Site	-	\$7,565	\$245,559	\$1,832,667	\$390,247	\$2,476,037
Roofing	\$332,319	\$24,124	\$3,855	-	\$1,070	\$361,368
Structural	-	-	-	-	-	\$0
Exterior	-	\$46,357	\$36,077	\$17,756	\$5,010	\$105,200
Interior	-	-	\$351,666	\$496,128	\$84,584	\$932,378
Mechanical	-	\$17,284,460	\$709,742	\$182,531	\$20,639	\$18,197,372
Electrical	\$439,410	-	\$11,039	\$286,953	\$91,644	\$829,046
Plumbing	\$69,110	\$2,029	\$30,099	\$368,388	\$52,269	\$521,895
Fire & Life Safety	\$84,845	-	\$172,488	-	-	\$257,333
Technology	-	-	\$96,771	\$767,608	\$12,045	\$876,424
Stairs & Elevators	\$12,740	-	-	\$3,528	-	\$16,267
Specialties	-	-	-	\$944,697	\$123,515	\$1,068,212
Total	\$938,424	\$17,364,535	\$1,657,296	\$4,900,256	\$781,022	\$25,641,533

The deficiencies have been further grouped according to the category of deficiency observed with its priority. ADA Compliance are code related concerns brought about by the Americans with Disabilities Act of 1990, in most cases after the school was constructed. Capital Renewal items include those items that have reached or exceeded their useful life. Code Compliance includes components of the building, other than ADA items, that do not comply with current codes. In many cases these may be 'grandfathered', however will have to be addressed under any major renovation scenarios. Deferred Maintenance includes items that have broken or are in need of repair prior to reaching the end of their useful life, and have not been addressed by the district's maintenance program due to a lack of funding. Educational Adequacy needs are items that are directly related to the instructional environment and support the educational mission at the school including, for instance, instructional aids, technology, supervision and security concerns. The Energy Efficiency category generally includes system wide replacements that are associated with a reduction in energy or water consumption. Furniture, Fixtures, and Equipment include three classifications associated with the district's ongoing program for replacing furniture and moveable equipment that has reached the end of its serviceable life in the custodial, food service, and instructional or administrative areas. A Functional Deficiency is typically one that is presently not in place and is needed at the site or facility.

Facility Condition Cost - Category by Priority

Category	Priority					Total
	1	2	3	4	5	
ADA Compliance	\$11,166	\$7,565	-	\$347,895	-	\$366,626
Capital Renewal	\$771,729	\$17,114,359	\$328,643	\$2,757,752	\$4,464	\$20,976,946
Code Compliance	\$75,144	-	-	-	-	\$75,144
Deferred Maintenance	\$70,684	\$24,124	\$604,063	\$429,115	\$127,818	\$1,255,803
Educational Adequacy	\$9,701	\$58,098	\$602,968	\$1,278,243	\$648,741	\$2,597,752
Functional Deficiency	-	\$160,390	\$121,622	\$87,251	-	\$369,263
Total	\$938,424	\$17,364,535	\$1,657,296	\$4,900,256	\$781,022	\$25,641,533

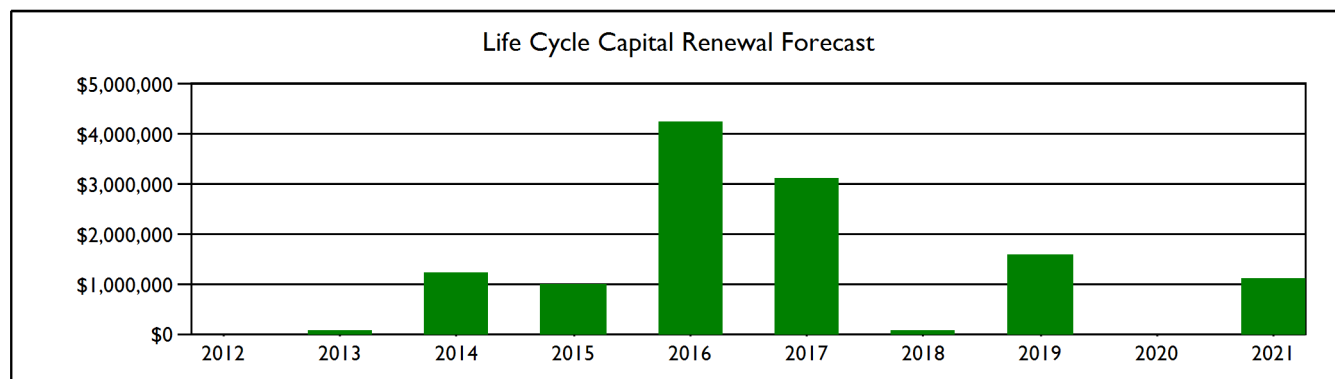
Life Cycle Capital Renewal Forecast

As part of the assessment process, this facility was analyzed according to its major building systems. Each system can be distinguished by its type, and each type of system or equipment has an expected serviceable life, at which point the system will in all likelihood require replacement. Life cycle capital renewal forecasts are developed by cataloguing system installation dates and comparing the ages to their expected life to determine the remaining life for that system. The assessment database incorporates a combination of building system data from two sources. The district maintains detailed information about roofing and paving according to the section, and that information was used to construct a life cycle capital renewal forecast for those systems. In cooperation with the State of Maryland, that data has been incorporated into the district's assessment database in order to provide a projection of capital renewal needs for the next ten years.

The following chart shows all current deficiencies and the subsequent ten-year life cycle capital renewal projections for major building systems where a component is expected to reach the end of its useful life and require capital funding for replacement. This chart shows the forecast in thousands (\$000s) for the next ten years.

Capital Renewal Forecast

System	Life Cycle Capital Renewal Projections											Total	\$/GSF
	Current Deficiencies	Year 1 2012	Year 2 2013	Year 3 2014	Year 4 2015	Year 5 2016	Year 6 2017	Year 7 2018	Year 8 2019	Year 9 2020	Year 10 2021		
Site	2,476,038	0	0	0	0	0	0	0	0	0	0	\$0	\$0.00
Roofing	361,368	0	0	0	0	17,584	0	0	0	0	0	\$17,584	\$0.07
Structural	0	0	0	0	0	0	0	0	0	0	0	\$0	\$0.00
Exterior	105,200	0	0	0	0	37,314	10,677	550	193,711	0	170,246	\$412,498	\$1.69
Interior	932,378	0	0	0	514,651	0	1,323,692	0	1,089,507	0	683,705	\$3,611,555	\$14.77
Mechanical	18,197,370	0	30,528	201,936	91,980	0	0	0	0	0	228,960	\$553,404	\$2.26
Electrical	829,046	0	0	0	0	4,197,850	0	0	288,949	0	0	\$4,486,799	\$18.35
Plumbing	521,895	0	41,421	3,572	0	0	0	0	3,698	0	0	\$48,691	\$0.20
Fire & Life Safety	257,333	0	0	1,016,035	394,846	0	0	0	0	0	28,212	\$1,439,093	\$5.89
Technology	876,425	0	0	0	0	0	0	0	0	0	0	\$0	\$0.00
Stairs & Elevators	16,267	0	0	0	0	0	0	0	0	0	0	\$0	\$0.00
Specialties	1,068,212	0	0	0	0	0	1,791,803	0	0	0	0	\$1,791,803	\$7.33
Other	0	0	0	0	0	0	0	0	0	0	0	\$0	\$0.00
Total	25,641,534	0	71,949	1,221,543	1,001,477	4,252,748	3,126,172	550	1,575,865	0	1,111,123	\$12,361,427	\$50.57



Thurgood Marshall Building Condition Assessment Assessment Findings

Facility Condition Index (FCI)

The Facility Condition Index (FCI) is used throughout the facility condition assessment industry as a general indicator of a building's health. The FCI is calculated by dividing the Ten-Year Repair cost by the Replacement Value. Costs associated with new construction are not included in the FCI calculation. As a rule of thumb, an FCI below 10% is considered good. An FCI above 75% would suggest that the building is a candidate for replacement.

The Thurgood Marshall Building facility has an overall FCI of 63.7%

The total current cost for all building deficiencies is \$25,641,533. There are \$3,264,388 in deficiencies at the site level that are included in the FCI calculation. In addition, the ten year life cycle renewal cost was \$12,361,427. The cost estimates were derived using a detailed listing of all noted deficiencies in the building. The cost to repair these deficiencies was then estimated using the cost data adjusted to Baltimore, Maryland (92.6% of national average).

The Replacement Value represents the estimated cost of replacing the current building with another building of like size, based on today's estimated cost of construction in the Baltimore, Maryland area. The estimated replacement cost for this facility is \$59,637,610.

The following pages provide a listing of all deficiencies and their associated cost for the site and building, followed by photos taken during the assessment.

Site Level Deficiencies

Site

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Existing Sidewalk Is Cracked And Poses A Hazard To Accessibility	ADA Compliance	600	SQFT	2	\$7,565	4603
Asphalt Walks Are Damaged And Require Replacement	Capital Renewal	700	SF	3	\$3,256	4592
Concrete is missing and is needed	Functional Deficiency	1,000	SF	3	\$12,812	10013
Concrete Walks Are Damaged And Require Replacement	Capital Renewal	10,000	SF	3	\$146,457	4593
Curb, Ramps, and Gutters at end of life	Capital Renewal	750	LF	3	\$13,282	10014
Playground Equipment Requires Replacement	Educational Adequacy	1	Ea.	3	\$69,752	461640
Note: Playground Equipment Requires Replacement						
Asphalt Paving Is Damaged And Requires Replacement	Capital Renewal	400	CAR	4	\$1,357,133	4589
Concrete Paving Is Damaged And Requires Replacement	Capital Renewal	95	CAR	4	\$322,927	4590
Paved Play Requires Recoating And Resurfacing	Deferred Maintenance	5,000	SF	4	\$5,535	4595
Site Drainage is Inadequate and Requires Regrading	Deferred Maintenance	6,000	SF	4	\$8,046	4588
The Car Accessible Parking Spaces Are Not Properly Striped	ADA Compliance	12	Ea.	4	\$1,942	4598
The Car Accessible Parking Spaces Do Not Meet ADA Requirements	ADA Compliance	12	Ea.	4	\$32,793	4600
The Curb Ramp Does Not Meet Minimum ADA Compliance Requirements	ADA Compliance	1	Ea.	4	\$2,898	4602
The Exterior Signage At The Accessible Parking Area Does Not Meet ADA Requirements	ADA Compliance	20	Ea.	4	\$5,680	4601
The Van Accessible Parking Spaces Are Not Properly Striped	ADA Compliance	4	Ea.	4	\$1,153	4597
The Van Accessible Parking Spaces Do Not Meet ADA Requirements	ADA Compliance	4	Ea.	4	\$3,572	4599
Dumpsters Are Damaged And Require Replacement	Deferred Maintenance	2	Ea.	5	\$6,800	4594
Paving Requires Restriping	Deferred Maintenance	50	CAR	5	\$1,884	4591
Play Field Requires Regrading	Deferred Maintenance	20,000	SF Surf	5	\$12,923	4596
School has insufficient # of basketball courts.	Educational Adequacy	3	Ea.	5	\$43,883	461753
Note: School has insufficient # of basketball courts.						
School has insufficient baseball fields.	Educational Adequacy	1	Ea.	5	\$72,704	461725
Note: School has insufficient baseball fields.						
School lacks dedicated K playground/equipment.	Educational Adequacy	1	Ea.	5	\$79,185	461655
Note: School lacks dedicated K playground/equipment.						
School lacks marquee or marquee in poor condition.	Educational Adequacy	1	Ea.	5	\$37,078	529343
Note: School lacks marquee or marquee in poor condition.						
Site Signage Is Damaged And Requires Replacement	Deferred Maintenance	5	Ea.	5	\$2,700	4587
Tennis Court needs minor repairs	Deferred Maintenance	5	Ea.	5	\$51,177	10016
The school lacks a paved play area.	Educational Adequacy	2	Ea.	5	\$81,915	461678
Note: The school lacks a paved play area.						
Sub Total for System		26	items		\$2,385,051	

Exterior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Joint Sealant is missing and is needed	Functional Deficiency	2,000	LF	3	\$14,384	10012
Sub Total for System		1	items		\$14,384	

Interior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Elementary School lacks appropriate way finding system.	Educational Adequacy	1	Ea.	5	\$29,136	529405
Note: Elementary School lacks appropriate way finding system.						
Sub Total for System		1	items		\$29,136	

Fire & Life Safety

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Building not equipped with Card Key Access Control	Educational Adequacy	6	Ea.	3	\$158,390	497429
Note: Building not equipped with Card Key Access Control						
Sub Total for System		1	items		\$158,390	

Technology

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Phone System Is Inadequate And A System Should Be Installed For The Entire School	Educational Adequacy	244,459	SF	4	\$517,695	486161
Note: The Phone System Is Inadequate And A System Should Be Installed For The Entire School						
Sub Total for System		1	items		\$517,695	

Stairs & Elevators

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Exterior Ramp is not ADA Compliant	ADA Compliance	10	LF	1	\$11,166	4604
The Handrails In The Stair Area Are Not ADA Compliant	ADA Compliance	90	LF	4	\$3,528	10011
Sub Total for System		2	items		\$14,694	

Specialties

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Metal Locker is missing and is needed	Educational Adequacy	230	Ea.	4	\$145,038	517486
Note: Metal Locker is missing and is needed						
Sub Total for System		1	items		\$145,038	
Sub Total for School and Site Level		33	items		\$3,264,388	

Building: 170 - Building 1**Site**

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Fencing Is Damaged And Should Be Replaced (4' Chain Link Fence)	Deferred Maintenance	1,500	LF	4	\$50,395	6438
Gate Is Damaged And Requires Replacement	Deferred Maintenance	4	Ea.	4	\$38,414	6439
The Exterior Entry Signage At The Building Entry Does Not Meet ADA Requirements	ADA Compliance	4	Ea.	4	\$726	6432
Sub Total for System		3	items		\$89,535	

Exterior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Brick Exterior Is Damaged And Requires Repointing	Deferred Maintenance	900	SF Wall	3	\$10,982	6442
The Exterior Soffit Is Damaged And Requires Repainting	Deferred Maintenance	1,200	SF	3	\$5,011	6441
The Exterior Requires Cleaning	Deferred Maintenance	2,000	SF Wall	5	\$5,010	6440
Sub Total for System		3	items		\$21,004	

Interior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Carpet Flooring Is Damaged And Requires Replacement	Capital Renewal	1,500	SF	3	\$16,232	6449
The Ceramic Tile Flooring Is Damaged And Requires Replacement	Capital Renewal	600	SF	3	\$12,128	6451
The Door does not have the Required Thumb / Key Lock	Educational Adequacy	126	Door	3	\$263,957	Rollup
The Suspended Ceiling Grid and Tiles Are Damaged And Require Replacement	Capital Renewal	3,000	SF	3	\$29,674	6443
Interior Gypboard Walls Require Repair	Deferred Maintenance	4,000	SF Wall	4	\$38,375	6446
The Access Is Not ADA Compliant And Requires A Platform Lift	ADA Compliance	1	Ea.	4	\$19,399	6435
The Access Is Not ADA Compliant And Requires An ADA Compliant Ramp	ADA Compliance	1	Ea.	4	\$38,998	6436
The Doorway Does Not Have 18" Minimum Pull Side Clearance And Requires A Power Assist Door Mechanism	ADA Compliance	4	Ea.	4	\$53,397	6434
The Vinyl Composition Tile Flooring Is Damaged And Requires Replacement	Capital Renewal	750	SF	4	\$7,041	6450
The Vinyl Composition Tile Flooring Is Damaged And Requires Replacement	Capital Renewal	28,800	SF	4	\$270,393	6452
Classroom door lacks the appropriate vision panel.	Educational Adequacy	1	Ea.	5	\$486	Rollup
Interior Brick/CMU Walls Require Repainting	Deferred Maintenance	4,000	SF	5	\$12,718	6448
Interior Toilet Partition Require Repainting	Deferred Maintenance	10	Ea.	5	\$2,391	6447
Large rooms lack capacity signs.	Educational Adequacy	46	Ea.	5	\$8,693	Rollup
Room lacks appropriate sound control.	Educational Adequacy	6,275	SF	5	\$16,189	Rollup
The Exposed Ceilings Are Damaged And Requires Repainting	Capital Renewal	1,800	SF	5	\$4,464	6445
The Gypboard Ceilings Are Damaged And Requires Repainting	Deferred Maintenance	1,000	SF	5	\$3,088	6444
Sub Total for System		17	items		\$797,623	

Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Facility Requires Air Conditioning System	Capital Renewal	244,459	SF	2	\$15,838,672	536772
Note: Per BCPS City Schools - Building Air Conditioning Status						
Kitchen Fire Suppression Hood is Missing	Functional Deficiency	2	Ea.	2	\$160,390	6468
Lab lacks an air exchange system.	Educational Adequacy	7	Ea.	2	\$58,098	Rollup
LC: The Mechanical / Air Handlers (Count Basis) / Interior - Single Zone system is beyond its useful life.	Capital Renewal	7	Ea.	2	\$90,031	6473
LC: The Mechanical / Pkg Units (Count Basis) / Window Units system is beyond its useful life.	Capital Renewal	16	Ea.	2	\$41,157	6477
The Radiant Heat HVAC Component Is Damaged And Requires Replacement	Capital Renewal	713	Ea.	2	\$707,319	6474
Unit Heater is Beyond Useful Life	Capital Renewal	17	Ea.	2	\$52,017	6475
Unit Ventilator requires Replacement	Capital Renewal	14	Ea.	2	\$102,761	6476
Kitchen Air/Exhaust is missing and is needed	Functional Deficiency	2	Ea.	3	\$94,426	6467
LC: The Mechanical / HVAC Piping / 2-Pipe System (Cold) system is beyond its useful life.	Capital Renewal	7,000	SF	3	\$63,041	6478
Test And Balancing Required	Deferred Maintenance	26,000	SF	3	\$53,906	6469
The 4 X 6 Exhausts/Ventilators Are Missing/Damaged And Require Replacement	Deferred Maintenance	51	Ea.	3	\$453,871	6464
Complete Kitchen HVAC Installation For Non-Air-Conditioned Facility	Functional Deficiency	3,000	SF	4	\$54,621	6466

Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Duct Cleaning Required	Deferred Maintenance	26,000	SF	4	\$14,038	6470
Duct Register is Damaged And Should Be Replaced	Deferred Maintenance	15	Ea.	4	\$8,158	6471
Lab lacks an appropriate fume hood.	Educational Adequacy	4	Ea.	4	\$73,084	Rollup
Make-Up Air Inadequate And Should Be Increased	Functional Deficiency	3,000	SF	4	\$32,631	6465
Duct Grill is Damaged And Should Be Replaced	Deferred Maintenance	48	Ea.	5	\$20,639	6472
Sub Total for System		18	items		\$17,918,859	

Electrical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Panel board Is Damaged And Should Be Replaced Note: 50 @200A	Capital Renewal	10,000	Amps	1	\$394,975	6488
Stage Lighting Is Inadequate	Capital Renewal	60	Ea.	4	\$66,493	6487
The 1 X 4 Interior Fluorescent Lighting Is Damaged And Should Be Replaced	Deferred Maintenance	80	Ea.	4	\$32,478	6485
The 2 X 4 Interior Fluorescent Lighting Is Damaged And Should Be Replaced	Deferred Maintenance	150	Ea.	4	\$88,796	6486
The Canopy Lighting Is Damaged And Should Be Replaced	Deferred Maintenance	80	Ea.	4	\$87,006	6484
Room does not have tamper-proof light switching.	Educational Adequacy	4	Ea.	5	\$2,350	Rollup
Room has insufficient electrical outlets.	Educational Adequacy	323	Ea.	5	\$88,016	Rollup
Room lacks controls to partially dim lights.	Educational Adequacy	2	Ea.	5	\$1,279	Rollup
Sub Total for System		8	items		\$761,393	

Plumbing

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Gas Piping Is Damaged And Requires Repair	Deferred Maintenance	3,200	LF	1	\$69,110	6483
LC: The Plumbing / Backflow Preventers system is beyond its useful life.	Capital Renewal	2	Ea.	3	\$3,859	6498
The Domestic Water Piping System is Damaged And Requires Repairs	Deferred Maintenance	500	LF	3	\$26,240	6482
The Class Room Lavatories Plumbing Fixtures Are Damaged And Should Be Replaced	Capital Renewal	9	Ea.	4	\$22,985	6479
The Class Room Lavatories Plumbing Fixtures Are Missing And Should Be Installed	Educational Adequacy	36	Ea.	4	\$162,407	Rollup
The Custodial Mop Or Service Sink Is Damaged And Should Be Replaced	Deferred Maintenance	11	Ea.	4	\$45,142	6480
The Rest Room Lavatories Plumbing Fixtures Are Damaged And Should Be Replaced	Capital Renewal	8	Ea.	4	\$14,219	6481
Lab lacks gas service at lab tables.	Educational Adequacy	3	Ea.	5	\$41,162	Rollup
Room lacks a drinking fountain.	Educational Adequacy	11	Ea.	5	\$11,107	Rollup
Sub Total for System		9	items		\$396,230	

Fire & Life Safety

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Emergency Exit Signage Is Damaged Or Missing And Should Be Replaced	Code Compliance	50	Ea.	1	\$30,498	6489
Room lacks an appropriate eyewash.	Educational Adequacy	4	Ea.	1	\$9,701	Rollup
Room lacks shut-off valves for utilities.	Educational Adequacy	4	Ea.	3	\$14,098	Rollup
Sub Total for System		3	items		\$54,298	

Technology

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Room lacks audio enhancement system	Educational Adequacy	67	Ea.	3	\$72,350	Rollup
Room lacks wall or cabinet mounted media controller	Educational Adequacy	45	Ea.	3	\$24,422	Rollup
Fixed Projector is Missing and is Needed	Educational Adequacy	61	Ea.	4	\$148,971	Rollup
Room lacks interactive white board	Educational Adequacy	62	Ea.	4	\$100,942	Rollup
Room has insufficient data ports.	Educational Adequacy	33	Ea.	5	\$12,045	Rollup
Sub Total for System		5	items		\$358,729	

Stairs & Elevators

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Elevator Control/Relay Is Damaged And Should Be Replaced	Deferred Maintenance	3	Stop	1	\$1,574	6490
Sub Total for System		1	items		\$1,574	

Specialties

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Room has insufficient tack board area.	Educational Adequacy	59	Ea.	4	\$21,141	Rollup
Room has insufficient writing area.	Educational Adequacy	96	Ea.	4	\$108,965	Rollup
The Base Storage Cabinets Require Replacement	Capital Renewal	1,000	LF	4	\$441,783	6453
The Counter Heights Exceed Maximum ADA Height Requirements	ADA Compliance	6	LF	4	\$1,170	6433
The Seating is not ADA Compliant	ADA Compliance	4	Seat	4	\$864	6437
The Wardrobe Storage Cabinets Require Replacement	Capital Renewal	1,000	LF	4	\$225,736	6454
Room does not have sufficient cubbies.	Educational Adequacy	14	Ea.	5	\$3,024	Rollup
Room has an insufficient number of coat hooks.	Educational Adequacy	30	Ea.	5	\$749	Rollup
Room lacks an appropriate refrigerator.	Educational Adequacy	3	Ea.	5	\$16,936	Rollup

Specialties

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Room lacks appropriate amount of teacher storage.	Educational Adequacy	80	Ea.	5	\$49,593	Rollup
Room lacks the required demonstration table.	Educational Adequacy	6	Ea.	5	\$47,906	Rollup
The room lacks a washer and/or dryer.	Educational Adequacy	1	Ea.	5	\$5,306	Rollup
Sub Total for System		12	items		\$923,174	
Sub Total for Building 170 - Building 1		79	items		\$21,322,418	

Building: M-01 - Modular-01

Site

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Exterior Entry Signage At The Building Entry Does Not Meet ADA Requirements	ADA Compliance	4	Ea.	4	\$726	6501
Sub Total for System		1	items		\$726	

Roofing

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Metal Roof Structural Roof Covering Is Damaged And Requires Replacement	Capital Renewal	14,219	SF	1	\$332,319	6517
Debris In Gutters Should Be Removed	Deferred Maintenance	500	LF	2	\$431	6519
Edge Metal At Gutter Is Damaged And Should Be Replaced	Deferred Maintenance	500	LF	2	\$5,604	6522
Gutter Joints Require Repair	Deferred Maintenance	50	Ea.	2	\$2,044	6521
Gutter Screens Are Missing And Needed	Deferred Maintenance	500	LF	2	\$6,984	6520
Gutters Are Damaged and Require Replacement	Deferred Maintenance	500	LF	2	\$9,060	6518
The Metal Downspouts Are Damaged Or Missing And Requires Replacement	Deferred Maintenance	100	LF	3	\$3,855	6523
Splashblocks Are Missing Or Damaged And Are Needed	Deferred Maintenance	8	Ea.	5	\$1,070	6524
Sub Total for System		8	items		\$361,368	

Exterior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Steel Window Is Damaged And Requires Replacement	Capital Renewal	20	Ea.	2	\$46,357	6507
Exterior door hardware is damaged and should be replaced	Deferred Maintenance	2	Ea.	3	\$5,700	6506
Exterior Entry Door Hardware Is Not ADA Compliant	ADA Compliance	4	Door	4	\$11,399	6503
The Exterior Entry Door Threshold Exceeds The Maximum Threshold Height	ADA Compliance	2	Door	4	\$657	6502
Sub Total for System		4	items		\$64,113	

Interior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Suspended Ceiling Grid and Tiles Are Damaged And Require Replacement	Capital Renewal	3,000	SF	3	\$29,674	6508
Existing Door Hardware Is Not ADA Compliant	ADA Compliance	24	Door	4	\$49,197	6504
The Gypboard Ceilings Are Damaged And Requires Repair	Deferred Maintenance	150	SF	4	\$553	6509
The Vinyl Composition Tile Flooring Is Damaged And Requires Replacement	Capital Renewal	2,000	SF	4	\$18,776	6513
Interior Fiberglass Panels Require Repainting	Deferred Maintenance	1,500	SF Wall	5	\$3,920	6512
Interior Gypboard Walls Require Repainting	Deferred Maintenance	900	SF Wall	5	\$1,108	6510
Interior Toilet Partition Require Repainting	Deferred Maintenance	10	Ea.	5	\$2,391	6511
Sub Total for System		7	items		\$105,619	

Mechanical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
LC: The Mechanical / Controls / Electric system is beyond its useful life.	Capital Renewal	14,219	SF	2	\$109,630	6538
The Radiant Heat HVAC Component Is Damaged And Requires Replacement	Capital Renewal	7	Ea.	2	\$6,944	6526
Unit Ventilator requires Replacement	Capital Renewal	16	Ea.	2	\$117,441	6528
The 4 X 6 Exhausts/Ventilators Are Missing/Damaged And Require Replacement	Deferred Maintenance	5	Ea.	3	\$44,497	6525
Sub Total for System		4	items		\$278,512	

Electrical

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Panel board Is Damaged And Should Be Replaced Note: 5@225A	Capital Renewal	1,125	Amps	1	\$44,435	6534
The Mounted Building Lighting Is Damaged And Should Be Replaced	Capital Renewal	10	Ea.	3	\$11,039	6532
The 1 X 4 Interior Fluorescent Lighting Is Damaged And Should Be Replaced	Deferred Maintenance	30	Ea.	4	\$12,179	6533
Sub Total for System		3	items		\$67,653	

Plumbing

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Electric Water Heater Plumbing Fixtures Are Damaged And Should Be Replaced	Capital Renewal	50	Gal	2	\$2,029	6529
The Class Room Lavatories Plumbing Fixtures Are Damaged And Should Be Replaced	Capital Renewal	1	Ea.	4	\$2,554	6531
The Non-Refrigerated Drinking Fountain Does Not Exist	Capital Renewal	2	Ea.	4	\$7,711	6530

Plumbing

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Restroom is Not ADA Compliant	ADA Compliance	500	SF	4	\$113,371	6505
Sub Total for System		4	items		\$125,665	

Fire & Life Safety

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Emergency Battery Pack Lighting Is Damaged And Should Be Replaced	Code Compliance	5	Ea.	1	\$3,050	6535
Emergency Exit Signage Is Damaged Or Missing And Should Be Replaced	Code Compliance	5	Ea.	1	\$3,050	6536
Fire Alarm is Missing or Inadequate	Code Compliance	14,219	SF	1	\$38,546	6537
Sub Total for System		3	items		\$44,646	
Sub Total for Building M-01 - Modular-01		34	items		\$1,048,302	

Building: P-01 - Portable-01**Site**

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
The Exterior Entry Signage At The Building Entry Does Not Meet ADA Requirements	ADA Compliance	4	Ea.	4	\$726	6499
Sub Total for System		1	items		\$726	

Exterior

Deficiency	Category	Qty	UoM	Priority	Repair Cost	ID
Exterior Entry Door Hardware Is Not ADA Compliant	ADA Compliance	2	Door	4	\$5,700	6500
Sub Total for System		1	items		\$5,700	
Sub Total for Building P-01 - Portable-01		2	items		\$6,426	
Total for Campus		148	items		\$25,641,533	

Buildings with no reported deficiencies

P-02 - Portable-02

P-03 - Portable-03

Thurgood Marshall Building Condition Assessment
Supporting Photos



Side



Rear



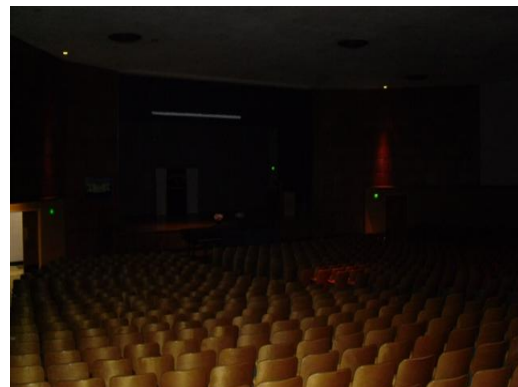
Library



Science Room



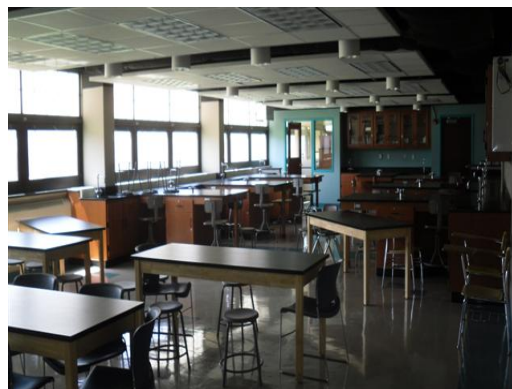
Hallway



Auditorium



Cafe



Science Room



Tech Lab



Gym



Classroom



Front Elevation



Front



Portable



Side



Front Entrance



Marquee



Stadium Area



Front entrance



Concrete Roadway parking



Parking



Roof with patches



Existing roof mounted HVAC equip



Metal expansion joint /coping cap



Metal roof on modular



Roof cond. on canopies



Abandon portable used for shower/locker room



Metal roof on modular



Patch at roof drain on main roof



Newer boilers in main mech room



Elec. panelboards



Fire alarm control panel



Main elec switchgear



Air handling unit



1x1 ceiling tiles in halls



univents in classrooms



Finishes in modular Bldg



Window sys in modular



Univent in modular bldg



Unside of parking canopies